



Property Inspection Report

March 14, 2026 (8:00 AM)

112 Sample Street Sampleton, NC



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Inspector Signature

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Legend

IN (Inspected) This area or system was visually inspected. The inspection was non-invasive and limited, refer to the report for details, limitations, and recommendations of further evaluation and or repair prior to purchase.

NI (Not Inspected) This area or system was not inspected, refer to the report body and or contract statements for details, limitations, and recommendations of further evaluation prior to purchase.

LT (Limited Inspection) The non-invasive inspection of this area or system was significantly limited, refer to the report for details, limitations, and recommendations of further evaluation and or repair prior to purchase.

NP (Not Present) The described component or system was not present at the time of the inspection or is not a component or system of the subject property.

DE (Deficient) The described component or system presented tangible evidence to indicate that the component or system was not functioning as intended, warranted further investigation, and or repair prior to purchase.

FE (Further Evaluation) The described component or system requires further evaluation by a licensed professional with expert knowledge of the component or system to determine if repair is needed prior to purchase.

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Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney.

A1. Exterior: Wall Cladding

A1-1 Main House



The exterior siding of the home is in need of further evaluation and repair, the following items were noted at the time of the inspection. A complete evaluation is needed as a repair plan is developed to determine the extent of the damage.

1. Missing siding
2. Damaged pieces
3. Warped siding

All systems listed should be evaluated and repaired as needed by a licensed general contractor to ensure that all systems are functioning as intended. The contractor should consult specialist in each trade as needed.

(A1-1.2) Main House



A shutter piece on the front porch is not attached. It was not determined if the piece can be reached without further work. A licensed general contractor should be hired to reattach the shutter.

A3. Exterior: Decks, Porches, Stoops, and Balconies

A3-1 Porch (Location: Main House Front)



The fence around the home is in poor condition and needs to be replaced. A licensed general contractor should be hired to replace the fence.

(A3-1.2) Porch (Location: Main House Front)



The porch is in need of further evaluation and repair, the following items were noted at the time of the inspection. A complete evaluation is needed as a repair plan is developed to determine the extent of the damage.

1. Damaged trim
2. Bowing soffit

A licensed general contractor should be consulted for further evaluation, to determine the extent of the damage, and to make necessary repairs.

A3. Exterior: Decks, Porches, Stoops, and Balconies

A3-2 Porch (Location: Main House Rear)



The porch is in need of further evaluation and repair, the following items were noted at the time of the inspection. A complete evaluation is needed as a repair plan is developed to determine the extent of the damage.

1. Damaged to columns
2. Eroded footings

A licensed general contractor should be consulted for further evaluation, to determine the extent of the damage, and to make necessary repairs.

A4. Exterior: Driveways, Patios, Walks, Retaining

A4-1 Driveway and Front Walk (Location: Main House Front)



Corrections are needed to control drainage and to protect the foundation and living areas of the home. A licensed general contractor should be consulted for a complete evaluation and to make necessary repairs.

(A4-1.2) Driveway and Front Walk (Location: Main House Front)



The sidewalk has low areas along the walking surface that may hold water. This could result in trip hazards and icing during the winter months. A licensed general contractor should be consulted for further evaluation and repair.

(A4-1.3) Driveway and Front Walk (Location: Main House Front)



Additional Photograph: This is a photograph of the outbuilding. The outbuilding was not inspected.

B1. Structural: Foundation

B1-1 Main House



The foundation is in need of evaluation and repair to ensure stability and prevent further damage, the following concerns were noted at the time of the inspection:

1. Multiple hairline cracks
2. Stepping cracks
3. Damage at front of porch

All systems listed should be evaluated and repaired as needed by a general contractor to ensure that all systems are functioning as intended. If the repairs are beyond the scope of the building code the contractor should consult an engineer for a repair plan.

B5. Structural: Ceiling Structure

B5-1 All Accessible Attic Areas



In the attic where the insulation is displaced there is evidence of a past leak, likely from the ac lines. The seller should be asked for a history of the leak and the steps taken to repair.

B6. Structural: Roof Structure

B6-1 Main House



From the attic, the wood framing components located under the main plumbing vent are discolored and decayed. The level of decay indicates a long term leak that could involve hidden areas of damage, the flashing, and the roof covering systems. The area was also wet at the time of the inspection indicating an active leak. A licensed general contractor should be consulted for further evaluation and repair to determine the source of the leak and extent of the damage to ensure the stability of the home and prevent additional damage.

C2. Roofing: Drainage Systems

C2-1 Main House

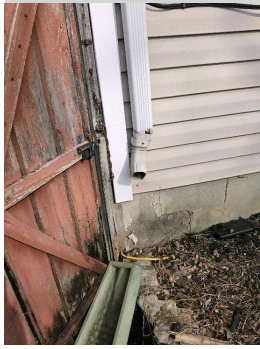


The roof gutters are in need of further evaluation and repair to reduce overflow to the foundation and cladding areas of the home. The following concerns were noted at the time of the inspection:

1. Poor installation: hole knocked into gutter for a drain
2. Moss on shingle from improper gutter clearance

It is very important to keep gutter functioning properly to reduce direct drainage to the foundation and wall cladding systems. A licensed general contractor should be consulted for a complete inspection to determine the significance of the concern and to make necessary repairs.

(C2-1.2) Main House



The gutter downspouts are not extended or piped to direct roof drainage away from the foundation in several locations. Direct drainage to the foundation and cladding from the gutter system can result in water penetration into the foundation area and foundation deterioration. A licensed general contractor should be consulted for a complete evaluation and to make necessary repairs.

D1. Plumbing: Main Water Supply

D1-1 Main (Location: bathroom 1)



For Your Records this is a photograph of the main water turn off.

E2. Electrical: Main Panel

E2-1 Main Panel (Garage) (Location: Garage)



The main electrical service panel cover is missing fasteners that secure the cover to the enclosure. The door/cover prevents direct contact with hot electrical circuits and contains the electrical energy of the electrical system in the event of a short or electrical explosion; therefore the cover must be secured with the correct type, size and number of fasteners. This condition presents a safety hazard that could result in serious personal injury or death. A licensed electrical contractor should be consulted for a complete inspection of the electrical system and for repair/replacement of the panel to ensure that it is safe and functioning properly.

E4. Electrical: Branch Circuits, Wiring

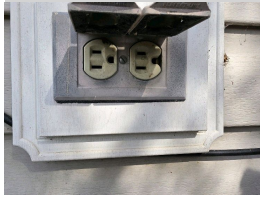
E4-1 Attic



Electrical connections have been made in the attic area without being properly protected in a covered junction box. The open junction leaves electrical conductors exposed and in a hazardous condition. Electrical concerns should be considered fire and safety issues and repaired as soon as possible. The electrical systems and components in the attic are in need of a complete evaluation and repair by a licensed electrical contractor.

E5. Electrical: Light Fixtures, Receptacles, Smoke Detectors

E5-1 Porch



The receptacle(s) has/have cracked face. A cracked receptacle could result in increased shock and fire hazards. A licensed electrical contractor should be consulted to make necessary repairs to ensure safe and proper operation and installation.

H1. Interiors: General Rooms

H1-1 All Rooms



There are several instances inside the house if suspected pet damage. A licensed general contractor should be consulted for evaluation and repair.

(H1-1.2) All Rooms



The sliding glass door in the dining area does not open smoothly and the glass is cloudy. This could be a safety hazard if the door sticks in an emergency. A licensed general contractor should be consulted for a complete evaluation and to make necessary repairs.

H3. Interiors: Bathrooms

H3-2 Bathroom 1



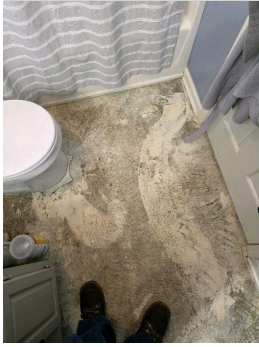
A window is present in the shower/tub area. The window is being exposed to constant water contact and could allow water penetration into the wall or framing areas. The window glass also presents a safety issue related to breakage and personal injury in the event that a person should slip or fall and impact the window. A licensed general contractor should be consulted to review the window and adjacent framing components for concerns related to water penetration, possible hidden damage, and safety concerns related to the glass in the shower area.

H3. Interiors: Bathrooms

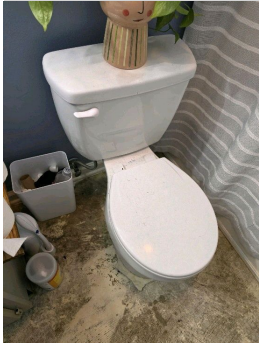
H3-3 Bathroom: Primary



A window is present in the shower/tub area. The window is being exposed to constant water contact and could allow water penetration into the wall or framing areas. The window glass also presents a safety issue related to breakage and personal injury in the event that a person should slip or fall and impact the window. A licensed general contractor should be consulted to review the window and adjacent framing components for concerns related to water penetration, possible hidden damage, and safety concerns related to the glass in the shower area.

(H3-3.2) Bathroom: Primary

The floor in the primary bathroom is unfinished. A licensed general contractor should be consulted for installation.

(H3-3.3) Bathroom: Primary

The primary toilet was noticed to be running continuously. A licensed plumber should be consulted for evaluation and repair.

(H3-3.4) Bathroom: Primary

The aerator for the sink faucet was missing/ damaged. The aerator mixes air with the water volume to conserve water while providing a nice working pressure without splashing. A general repair specialist should be consulted to determine if replacement of the aerator is possible. A licensed plumbing contractor may be needed to replace the fixture if this is of concern and repair parts are not available.

H4. Interiors: Garage**H4-1 Garage**

The garage door needs adjustment and repair. The door did not stop/reverse when the path was interrupted. A garage door installation company or a licensed general contractor should be consulted for evaluation and repair to ensure that the door operates safely and properly.

I1. Insulation & Ventilation: General

I1-1 Attic: All Accessible



A section of insulation in the attic/crawl space is missing. Improper insulation installation could result in condensation, over heating of the building components, and inadequate conditioning of the living areas. A licensed general contractor should be consulted for repair/replacement.

Inspection Report

This report is a written evaluation that represents the results of a home inspection performed according to the home inspector's specific standard of practice as identified in your home inspection contract. The word 'inspect' means the act of making a visual examination. Home Inspections are limited to visible and accessible areas and are not invasive. The report outlines inspection findings of any systems or components so inspected that did not function as intended and are in need of repair, require subsequent observation such as monitoring, or warrant further investigation by a specialist such as a contractor or an engineer. When a defect or concern is located, the report statement will describe each system or component, state how the condition is defective, explain the implication of the defective condition, and direct the client to a course of action. It is recommended that all items listed in the body and summary of the report be reviewed, repaired, and or evaluated to determine the extent of the concern before purchasing the home. It is the client's responsibility to read the complete inspection report and follow-up with repairs and or recommended evaluations by listed specialist. THIS REPORT WAS INTENDED TO BE VIEWED IN COLOR AND THE INSPECTOR SHOULD BE NOTIFIED IF THE REPORT RECEIVED IS NOT IN COLOR. THE DIRECTIONAL REFERENCE OF LEFT AND RIGHT IS AS FACING THE FRONT OF THE HOME.

Temperature: 54 Deg. F

Weather Conditions: Cloudy

A. Exterior

All concerns related to exterior items listed below or identified to be deficient are in need of further evaluation and or repair by a Licensed General Contractor. If additional concerns are discovered during the process of evaluation and repair, the General Contractor should consult a specialist in each trade as needed. It is important to correct deficiencies on the exterior of the home to prevent direct water penetration into the building envelope which can result in structural damage and or undesirable environmental conditions. Repairs and evaluations should be made prior to closing to ensure that the buyer understands the full scope or extent of the concern. Exterior systems and components should be inspected and maintained annually.

A1. Exterior: Wall Cladding

A1-1 Main House

IN LT DE

Cladding Type: Vinyl Horizontal
Trim Type: Vinyl Solid
Exterior Receptacle: GFCI Protected

Inspection Limitation(s):

The inspection of the driveway was limited because of parked vehicles. The driveway should be inspected when the majority of the surface area is visible.

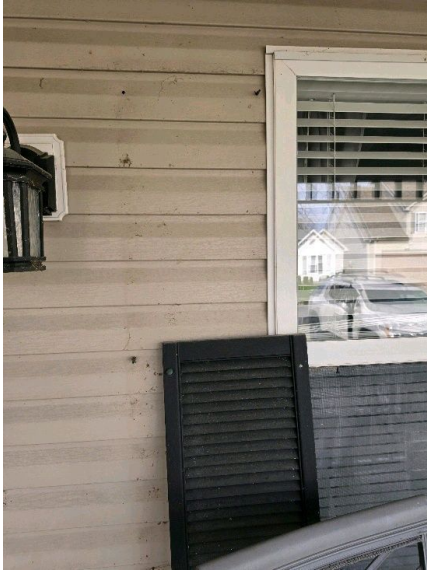
(A1-1.1) Main House



The exterior siding of the home is in need of further evaluation and repair, the following items were noted at the time of the inspection. A complete evaluation is needed as a repair plan is developed to determine the extent of the damage.

1. Missing siding
2. Damaged pieces
3. Warped siding

All systems listed should be evaluated and repaired as needed by a licensed general contractor to ensure that all systems are functioning as intended. The contractor should consult specialist in each trade as needed.

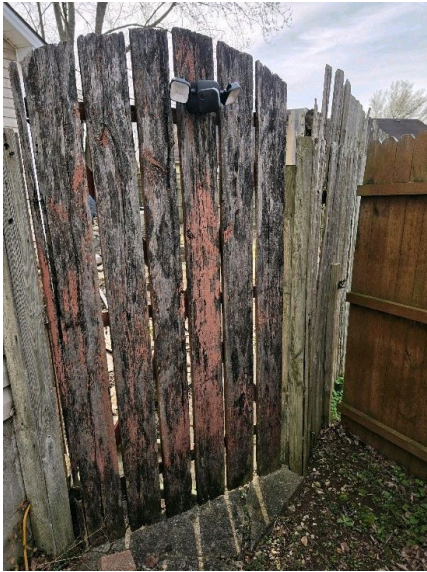
(A1-1.1) Additional Photos**(A1-1.2) Main House**

A shutter piece on the front porch is not attached. It was not determined if the piece can be reached without further work. A licensed general contractor should be hired to reattach the shutter.

A3. Exterior: Decks, Porches, Stoops, and Balconies

A3-1 Porch

IN**Construction Type:** Masonry (Concrete Surface)**Location:** Main House Front

(A3-1.1) Porch

The fence around the home is in poor condition and needs to be replaced. A licensed general contractor should be hired to replace the fence

(A3-1.2) Porch

The porch is in need of further evaluation and repair, the following items were noted at the time of the inspection. A complete evaluation is needed as a repair plan is developed to determine the extent of the damage.

1. Damaged trim
2. Bowing soffit

A licensed general contractor should be consulted for further evaluation, to determine the extent of the damage, and to make necessary repairs.

A3. Exterior: Decks, Porches, Stoops, and Balconies

A3-2 Porch**IN LT DE**

Construction Type: Masonry (Concrete Surface)

Location: Main House Rear

Inspection Limitation(s):

The inspection of the exterior of the home was limited due to storage. The inspection of the exterior the home should be completed prior to purchase when the storage is removed.

(A3-2.1) Porch

The porch is in need of further evaluation and repair, the following items were noted at the time of the inspection. A complete evaluation is needed as a repair plan is developed to determine the extent of the damage.

1. Damaged to columns
2. Eroded footings

A licensed general contractor should be consulted for further evaluation, to determine the extent of the damage, and to make necessary repairs.

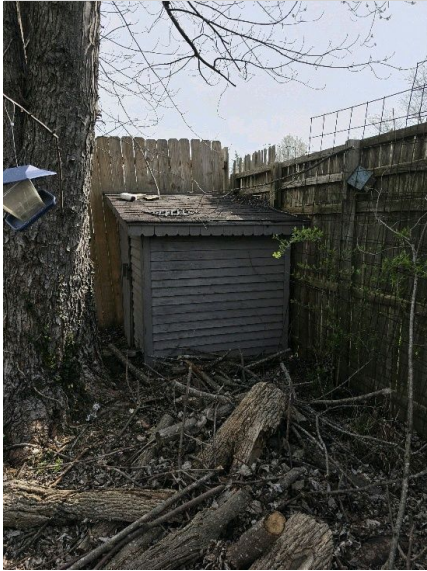
A4. Exterior: Driveways, Patios, Walks, Retaining**A4-1 Driveway and Front Walk****IN****Construction Type:** Concrete**Location:** Main House Front**(A4-1.1) Driveway and Front Walk**

Corrections are needed to control drainage and to protect the foundation and living areas of the home. A licensed general contractor should be consulted for a complete evaluation and to make necessary repairs.

(A4-1.2) Driveway and Front Walk

The sidewalk has low areas along the walking surface that may hold water. This could result in trip hazards and icing during the winter months. A licensed general contractor should be consulted for further evaluation and repair.

(A4-1.3) Driveway and Front Walk



Additional Photograph: This is a photograph of the outbuilding. The outbuilding was not inspected.

B. Structural

All concerns related to structural components identified to be deficient in the following section are in need of further evaluation by a Licensed General Contractor or Engineer. Items in need of repair should be referred to a General Contractor. Items in need of design consideration, evaluation of significance/cause, and or determination of adequacy should be referred to an Engineer. All structural concerns should be evaluated and corrected as needed to ensure the durability and stability of the home. Repairs and evaluations should be made prior to closing to ensure that the buyer understands the full scope or extent of the concern. Where accessible, roof framing systems are inspected for visual defects such as broken, cracked, decayed, or damaged members; however, the evaluation of the system for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection. The foundation inspection was limited because the subject property is constructed on a slab foundation which is not visible for inspection due to construction methods, furniture, and floor coverings. The home inspector did not formulate an opinion related to the condition of the slab foundation, if additional information concerning the slab foundation is desired a professional engineer should be consulted prior to purchase.

B. Structural: Inspection Methods

When accessible and safe the inspector entered attic and crawl space inspection areas with a small probe, a camera, and a standard flash light. Where visible and accessible; floor and roof framing components were inspected for visual defects such as broken, cracked, decayed, or damaged members; however, the evaluation of the system(s) for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection. The inspection of the attic was limited by available walking surfaces and the presence of insulation covering wood components.

B1. Structural: Foundation

B1-1 Main House

IN DE

Foundation Type: Slab: Brick Perimeter

Foundation Materials: Concrete

(B1-1.1) Main House



The foundation is in need of evaluation and repair to ensure stability and prevent further damage, the following concerns were noted at the time of the inspection:

1. Multiple hairline cracks
2. Stepping cracks
3. Damage at front of porch

All systems listed should be evaluated and repaired as needed by a general contractor to ensure that all systems are functioning as intended. If the repairs are beyond the scope of the building code the contractor should consult an engineer for a repair plan.

(B1-1.1) Additional Photos**B2. Structural: Columns and Piers**

B2-1.1 Main House

IN**Column/Pier Type:** Pier: Crawl Space**Column/Pier Materials:** Block: Brick**B3. Structural: Floor Structure**

B3-1.1 Main House

IN LT**Sub-Floor Type:** Concrete Slab**Inspection Limitation(s):**

The inspection of the slab foundation is very limited. Due to exterior grade levels and interior floor coverings, the slab foundation is not visible and therefore no conclusions can be made concerning the condition of the slab foundation during a home inspection.

B4. Structural: Wall Structure

B4-1.1 All Interior Areas

IN**Wall Structure Type:** Finished Areas: Not Accessible**B5. Structural: Ceiling Structure**

B5-1 All Accessible Attic Areas

IN DE**Ceiling Joist Type:** Engineered System: Truss: Wood**Ceiling Beam Type:** Dimensional Lumber: Standard Construction: Wood

(B5-1.1) All Accessible Attic Areas

In the attic where the insulation is displaced there is evidence of a past leak, likely from the ac lines. The seller should be asked for a history of the leak and the steps taken to repair.

B6. Structural: Roof Structure

B6-1 Main House

IN DE**Roof Type:** Gable**Rafter/Beam Type:** Dimensional Lumber: Standard Construction**Roof Sheathing Type:** OSB

(B6-1.1) Main House



From the attic, the wood framing components located under the main plumbing vent are discolored and decayed. The level of decay indicates a long term leak that could involve hidden areas of damage, the flashing, and the roof covering systems. The area was also wet at the time of the inspection indicating an active leak. A licensed general contractor should be consulted for further evaluation and repair to determine the source of the leak and extent of the damage to ensure the stability of the home and prevent additional damage.

C. Roofing

The roof covering, flashings, and roof drainage items listed or identified below were found to be of concern and in need of further evaluation and repair by a Licensed Roofing or a General Contractor. It is important to correct roofing deficiencies to prevent direct water penetration into the building envelope which can result in structural damage and/or undesirable environmental conditions. The verification of fastener type and count for the roofing covering system is beyond the scope of the home inspection. The home inspection is limited to visible surfaces and systems only, hidden or underlying system details such as nails, underlayment condition, and flashings are beyond the scope of the home inspection. Determining the age or remaining service life of the roof covering systems is beyond the scope of the home inspection. If the buyer would like to budget for replacement, a roofing contractor should be consulted to answer questions related to the life expectancy. Flashings and roof gutter system inspections are limited to evidence of past problems unless the inspection is performed during a heavy rain. All roof drainage and flashing systems should be monitored over the first year of ownership to identify problem areas or areas that may need adjustment or corrections. Roofing systems and components should be inspected and maintained annually.

C. Roofing: Inspection Methods

The roof covering was inspected using a drone and from a ladder at the roof eaves. The use of a drone allows the inspector to view the overall surface of the roof including areas that are not otherwise accessible but does not enable the inspector to locate small defects that may only be located or identified by walking on the roof surface which is beyond the scope of this home inspection. If an invasive or complete surface inspection of the roof covering is desired, the buyer should consult a Licensed Roofing Contractor prior to purchase.

C1. Roofing: Coverings

C1-1.1 Main House

IN

Roof Covering Type: Shingles Composite or Fiberglass

C2. Roofing: Drainage Systems

C2-1 Main House

IN

DE

Roof Drainage System Component Type: Standard Tray System

(C2-1.1) Main House



The roof gutters are in need of further evaluation and repair to reduce overflow to the foundation and cladding areas of the home. The following concerns were noted at the time of the inspection:

1. Poor installation: hole knocked into gutter for a drain
2. Moss on shingle from improper gutter clearance

It is very important to keep gutter functioning properly to reduce direct drainage to the foundation and wall cladding systems. A licensed general contractor should be consulted for a complete inspection to determine the significance of the concern and to make necessary repairs.

(C2-1.2) Main House

The gutter downspouts are not extended or piped to direct roof drainage away from the foundation in several locations. Direct drainage to the foundation and cladding from the gutter system can result in water penetration into the foundation area and foundation deterioration. A licensed general contractor should be consulted for a complete evaluation and to make necessary repairs.

C4. Roofing: Chimneys**C4-1.1 Main House****IN****Chimney or Flue Type:** Chimney: Masonry

D. Plumbing

All plumbing and water heating items listed or identified below were found to be in need of further evaluation and repair by a Licensed Plumbing Contractor. If additional concerns are discovered during the process of evaluation and repair, a General Contractor should be consulted to contact a specialist in each trade as needed. The majority of the plumbing components are concealed from inspection and the overall general condition cannot be fully determined. The plumbing was inspected for functional flow and drainage; however, it is not possible to fully evaluate the plumbing system to determine proper venting, sizing, or functional design as the system cannot be put under full load. The inspection does not guarantee that the plumbing systems and components will meet the demands of your family. The functional flow of the water supply at each accessible fixture was tested. Functional flow is not reported as defective unless water flow drops below 50 when two fixtures are operated simultaneously. Functional drainage is not reported as defective unless drainage flow is less than the supply water flow. The inspection of the water heater does not include evaluating the unit capacity for functional use. The hot water requirement for daily use varies for each family and the home inspector does not determine if the hot water supply is adequate. The inspection does not include verification of anti-scald fixtures and the client should verify water temperature settings prior to use. The plumbing inspection does not include determining the quantity/quality of the water supply, including potability, purity, clarity, hardness, or pH level. The plumbing inspection does not include; operation of the main or fixture turn-off valves, reporting fixture surface defects (including mineral deposits, cracks, chips and discolorations), condition of pipe interiors, determining the absence or presence of thermal expansion or backflow protection devices, verification of the washing machine drains, and or effectiveness of the toilet flush. The plumbing inspection is a limited functional evaluation made without full system load. Annual service and inspection of the main waste line will prevent system clogging and backup. If the buyer would like a complete invasive inspection of the plumbing system, the buyer should consult a Licensed Plumbing Contractor prior to purchase.

D1. Plumbing: Main Water Supply

D1-1 Main

IN

Main Water Shut Off Location: bathroom 1

Water Supply Type: Public

Main Water Supply Line Materials: Copper or Brass

(D1-1.1) Main



For Your Records this is a photograph of the main water turn off.

D2. Plumbing: Water Distribution Systems

D2-1.1 Utility Room

IN LT

Distribution Line Materials: Copper or Brass

Inspection Limitation(s):

The majority of the water supply and the waste lines are concealed from visual inspection and the general condition cannot be determined.

D3. Plumbing: Drain, Waste, Vent Systems

D3-1.1 Crawl Space

IN LT

Drain/Waste/Vent Line Materials: PVC

Drain/Waste Trap Line Materials: Plastic

Inspection Limitation(s):

The majority of the water supply and the waste lines are concealed from visual inspection and the general condition cannot be determined.

D4. Plumbing: Water Heating Equipment

D4-1.1 Unit 1

IN LT

Water Heater Location: Laundry

Fuel Source: Gas-Natural

Capacity: 40 Gallons

Serial Number: BF55375141

Inspection Limitation(s):

The inspection of the water heater does not include evaluating the unit capacity for functional use based on the number bathrooms or fixtures. The hot water requirement for daily use varies with each family and the home inspector has not developed an opinion whether or not the hot water system for this home is adequate.

E. Electrical

All Electrical items listed below were found to be of concern and are in need of further evaluation and repair by a Licensed Electrical Contractor. When repairs are made, the complete electrical system should be evaluated. Electrical issues are safety concerns and should be repaired immediately. During a home inspection, it is not possible to place a home under a full loading condition that would evaluate the capacity of the electrical system. The electrical system was evaluated based on current systems and components and no consideration was made to future expansion or modernizations. As with any system, the addition of new systems and appliances may require electrical system replacement, modifications, and or upgrades.

Smoke Detectors: Present

Carbon Monoxide Detectors: Not Present

E1. Electrical: Main Service

E1-1.1 Underground

IN

Grounding Electrode Type: Driven Rod

E2. Electrical: Main Panel

E2-1 Main Panel (Garage)

IN

DE

Location: Garage

Service Cable Material: Copper

Amperage: 150 Amps

Voltage: 120-240 Volts: 1 Phase

(E2-1.1) Main Panel (Garage)



The main electrical service panel cover is missing fasteners that secure the cover to the enclosure. The door/cover prevents direct contact with hot electrical circuits and contains the electrical energy of the electrical system in the event of a short or electrical explosion; therefore the cover must be secured with the correct type, size and number of fasteners. This condition presents a safety hazard that could result in serious personal injury or death. A licensed electrical contractor should be consulted for a complete inspection of the electrical system and for repair/replacement of the panel to ensure that it is safe and functioning properly.

E4. Electrical: Branch Circuits, Wiring

E4-1 Attic

IN DE

Wiring Methods: Non-Metallic (Plastic)

(E4-1.1) Attic



Electrical connections have been made in the attic area without being properly protected in a covered junction box. The open junction leaves electrical conductors exposed and in a hazardous condition. Electrical concerns should be considered fire and safety issues and repaired as soon as possible. The electrical systems and components in the attic are in need of a complete evaluation and repair by a licensed electrical contractor.

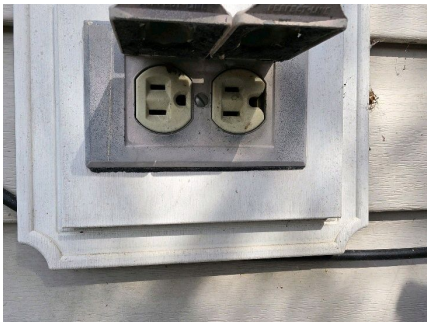
E5. Electrical: Light Fixtures, Receptacles, Smoke Detectors

E5-1 Porch

IN DE

GFCI Present: Yes

(E5-1.1) Porch



The receptacle(s) has/have cracked face. A cracked receptacle could result in increased shock and fire hazards. A licensed electrical contractor should be consulted to make necessary repairs to ensure safe and proper operation and installation.

F. Heating Systems

The HVAC system(s) were visually inspected and operated based on the seasonally correct cycle. All heating system concerns listed or identified below were found to be in need of further evaluation and repair by a Licensed HVAC Contractor to ensure safe, proper, and reliable operation of the system(s). The seasonal inspection of the system(s) during a home inspection is a non-invasive visual inspection where covers were not removed to expose internal components. This type of visual inspection will not reveal internal problems for the system(s). If a complete invasive inspection is desired a Licensed HVAC Contractor should be consulted prior to purchase. Winter inspections include the operation of the heating components only. Summer inspections include the operation of the air conditioning components only. Please refer to the temperature identification in the first section of the report to determine if temperatures during the inspection were over 65 degrees Fahrenheit (F) resulting in a summer inspection or under 65 degrees Fahrenheit (F) resulting in a winter inspection. All HVAC systems and components should be serviced and evaluated seasonally. All concerns are in need of further evaluation and repair by a Licensed HVAC Contractor. The homeowner should be asked for disclosure related to the performance, service, and maintenance history of the HVAC system(s).

F1. Heating Systems: Equipment

F1-1.1 Heating Unit 1

IN LT

Location: Attic
Heating Unit Type: Gas: Furnace
Energy Source: Natural Gas
Inspection Method: Operated, Covers Not Removed

Inspection Limitation(s):

The furnace was operated and visually inspected; however, the removal of burner chamber and other covers provided for service by a qualified service technician is beyond the scope of the home inspection. If an invasive inspection is desired, a HVAC service company should be consulted prior to closing. To keep your unit operating safely and efficiently, a qualified service technician should check the entire system seasonally. Gas furnaces that are over 7 years old should have a heat exchanger inspection as part of their annuals winter service.

F2. Heating Systems: Distribution System

F2-1.1 Heating Unit 1

IN

Access: Attic
Distribution System Type: Forced Air: Metal Box: Flexible Branch

F3. Heating Systems: Gas Piping

F3-1.1 Attic

IN

Gas Piping Material: Black Steel
Fuel Turn-Off Location: At Meter
Fuel Storage Tanks: Not Present

G. Cooling Systems

The air conditioning/heat pump system(s) were visually inspected and operated based on the seasonally correct cycle. All system concerns listed or identified below were found to be in need of further evaluation and or repair by a Licensed HVAC Contractor to ensure safe, proper, and reliable operation of the system(s). The seasonal inspection of the system(s) during a home inspection is a non-invasive visual inspection where unit covers were not removed to expose internal components such as coils, fans, and or interior duct surfaces. This type of inspection will not reveal improper sizing/design or internal problems with the system(s) such as incorrect pressures, leaking, or discontinued refrigerants. Winter inspections include the operation of the heating components only. Summer inspections include the operation of the air conditioning components only. Please refer to the temperature identification in the first section of the report to determine if temperatures during the inspection were over 65 degrees Fahrenheit (F) resulting in a summer inspection or under 65 degrees Fahrenheit (F) resulting in a winter inspection. A complete invasive inspection by a Licensed HVAC Contractor will be required to ensure that the system(s) function in both the heating and cooling cycles. All HVAC systems and components should be serviced and evaluated seasonally. The homeowner should be asked for disclosure related to the heating and cooling performance, service, and maintenance history of the HVAC system(s).

G1. Cooling Systems: Equipment

G1-1.1 Cooling Unit 1

IN LT

Location: exterior
Cooling Unit Type: Electric: Split System
Energy Source: Electric
Inspection Method: Not Operated, Covers Not Removed

Inspection Limitation(s):

The air conditioning system and components were visually inspected, but not operated due to low exterior temperatures. Winter inspections only include a visual inspection of the air condition system(s). The home inspector cannot determine if an AC system will function as intended during the winter inspection and the operation of the system could result in component damage. At the time of the inspection, the home inspector develops no conclusions concerning whether or not the system will function or adequately cool the home during the summer season. The homeowner should be asked for disclosure related to the performance, service, and maintenance history of the AC systems. If the buyer desires more information concerning the AC system(s), a HVAC contractor should be consulted for a complete invasive system evaluation.

G2. Cooling Systems: Distribution System

G2-1.1 Cooling Unit 1

IN

Access: Crawl Space
Distribution System Type: Same as Heating

H. Interiors

The interior rooms of the home were visually inspected. The inspection was not invasive and therefore was limited. One window and one receptacle were tested in each room unless furniture or storage prevented access. Identifying hazed or cloudy windows is beyond the scope of the home inspection. The severity of the hazing varies with season and time of the day; therefore, damaged windows may not be visible at the time of the inspection. Light fixtures were operated from at least one switch. Unless labeled, multiple switch locations may not be identified. Confirmation of multiple position switches is only possible when all switches can be identified, and this is not possible if switches are improperly installed. Every light fixture has specific bulb wattage limitations. During the home inspection it is not possible to verify bulb type and size. Clients should verify bulb type and wattage for each fixture to prevent fixture damage and ensure proper operation. Cosmetic concerns for example worn carpets, poor floor finish, open seams in hardwoods, torn wallpaper, poor/damaged paint finish, floor slopes, countertop slopes, ceiling stains that were dry at the time of the inspection, worn cabinets, worn hinges, damaged window blinds/shades, screens, evidence of pets, and evidence of smoking are beyond the scope of the home inspection. Personal property such as storage, refrigerators, washers, dryers, rugs, furniture, clothes, and wall hangings are not moved and therefore limit the inspection. The overall floor areas in most furnished rooms are not visible and therefore identifying slopes may not be possible. Furniture and personal items can conceal defects and change the overall feel of a home. The buyer should view the home when furnishing and personal items have been removed prior to the purchase. It is especially important to view the areas behind the refrigerator and the washer/dryer. The washing machine and the dryer are considered personal property and the inspection of these appliances are beyond the scope of the home inspection. Washing machines often leak resulting in hidden damage to areas that are not visible to the home inspector. The home inspector does not identify if the dryer power service is gas or electric or if the dryer exhaust duct is metal or plastic. The presence of the washer and dryer greatly limit the inspection of the laundry area. After the washer and the dryer have been removed and prior to the purchase of the home, the buyer should view the laundry room for damage or concerns. The washing machine drain, electrical power, or gas service were not verified, before the installation of your washer and dryer, the installer should inspect and verify the washer drain, the dryer exhaust duct, gas connection and/or the electrical service receptacles.

H1. Interiors: General Rooms

H1-1 All Rooms

IN DE

Heating and Cooling Source: Heating and Cooling Source Noted

Furniture/Storage Present: Yes

Finished Walls, Ceiling, Floor: Finished Area

(H1-1.1) All Rooms



There are several instances inside the house if suspected pet damage. A licensed general contractor should be consulted for evaluation and repair.

(H1-1.2) All Rooms



The sliding glass door in the dining area does not open smoothly and the glass is cloudy. This could be a safety hazard if the door sticks in an emergency. A licensed general contractor should be consulted for a complete evaluation and to make necessary repairs.

H2. Interiors: Kitchens

H2-1.1 Kitchen

IN

Heating and Cooling Source: Heating and Cooling Source Noted
Furniture/Storage Present: Yes
Finished Walls, Ceiling, Floor: Finished Area
GFCI Present: Yes

H3. Interiors: Bathrooms

H3-1.1

IN

H3. Interiors: Bathrooms

H3-2 Bathroom 1

IN LT

Ventilation : Ventilation Exhaust Fan Present
Receptacle Found: Yes
GFCI Present: Yes

Inspection Limitation(s):

The inspection of the vanity was limited due to personal storage. The shelves and the plumbing systems under the sink were not visible. The inspection should be completed prior to purchase.

(H3-2.1) Bathroom 1



A window is present in the shower/tub area. The window is being exposed to constant water contact and could allow water penetration into the wall or framing areas. The window glass also presents a safety issue related to breakage and personal injury in the event that a person should slip or fall and impact the window. A licensed general contractor should be consulted to review the window and adjacent framing components for concerns related to water penetration, possible hidden damage, and safety concerns related to the glass in the shower area.

H3. Interiors: Bathrooms

H3-3 Bathroom: Primary

IN LT DE

Ventilation : Ventilation Exhaust Fan Present

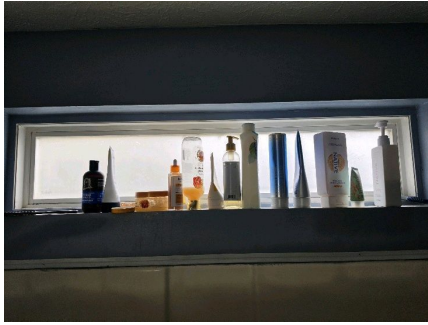
Receptacle Found: Yes

GFCI Present: Yes

Inspection Limitation(s):

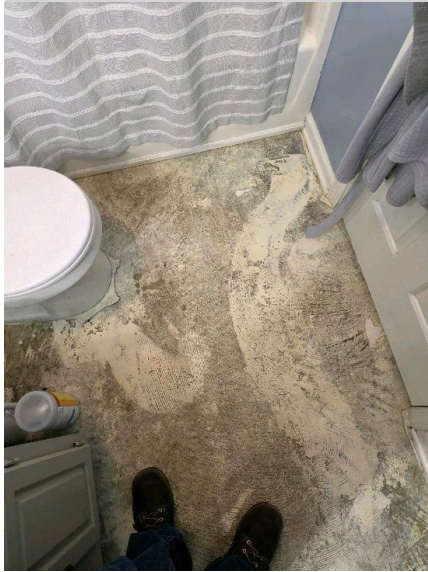
The inspection of the vanity was limited due to personal storage. The shelves and the plumbing systems under the sink were not visible. The inspection should be completed prior to purchase.

(H3-3.1) Bathroom: Primary



A window is present in the shower/tub area. The window is being exposed to constant water contact and could allow water penetration into the wall or framing areas. The window glass also presents a safety issue related to breakage and personal injury in the event that a person should slip or fall and impact the window. A licensed general contractor should be consulted to review the window and adjacent framing components for concerns related to water penetration, possible hidden damage, and safety concerns related to the glass in the shower area.

(H3-3.2) Bathroom: Primary



The floor in the primary bathroom is unfinished. A licensed general contractor should be consulted for installation.

(H3-3.3) Bathroom: Primary

The primary toilet was noticed to be running continuously. A licensed plumber should be consulted for evaluation and repair.

(H3-3.4) Bathroom: Primary

The aerator for the sink faucet was missing/ damaged. The aerator mixes air with the water volume to conserve water while providing a nice working pressure without splashing. A general repair specialist should be consulted to determine if replacement of the aerator is possible. A licensed plumbing contractor may be needed to replace the fixture if this is of concern and repair parts are not available.

H4. Interiors: Garage**H4-1 Garage****IN LT DE**

Garage Door Inspection Method: Operated Properly

GFCI Present: Yes

Door Safety Sensor Present: Yes

Inspection Limitation(s):

The inspection was limited by storage.

(H4-1.1) Garage

The garage door needs adjustment and repair. The door did not stop/reverse when the path was interrupted. A garage door installation company or a licensed general contractor should be consulted for evaluation and repair to ensure that the door operates safely and properly.

(H4-1.2) Garage

Additional Photograph: This is a photograph of the GFCI outlet in the garage. This outlet is in circuit with the exterior outlets. If the outside outlets lose power, check this GFCI.

H6. Interiors: Fireplaces**H6-1.1 Fireplace: Masonry****IN LT****Location:** Family Room**Exhaust Flue Type:** Metal**Energy Source:** Wood**Inspection Limitation(s):**

The inspection was limited by storage.

I. Insulation & Ventilation

All Insulation and Ventilation items listed or identified below were found to be of concern and in need of a full evaluation and repair by a Licensed General Contractor. If additional concerns are discovered during the process of evaluation and repair, the general contractor should consult a specialist in each trade as needed. Missing, poor, or inadequate insulation can lead to air infiltration and higher heating and cooling system operational costs. Air infiltration in humid climates can lead to undesirable environmental conditions. Insulation concerns should be evaluated and corrected as needed to ensure the integrity of the thermal envelope of the home. The insulation in accessible areas was inspected for indications of defects/damage only and not insulation effectiveness or R value. Determining the energy efficiency of the home is beyond the scope of the home inspection. The inspection or determination of the absence or presence of insulation in concealed areas such as wall cavities is not possible. Insulation is not moved in the attic areas. Insulation is moved in the crawl space or foundation areas where plumbing drain/waste pipes penetrate floors, adjacent to earth-filled stoops or porches and at exterior doors when conditions are not hazardous. The presence of insulation prevents the inspection of the ceiling, roofing, and floor components that are concealed or covered. Defects in the insulation system can lead to air infiltration, condensation, and elevated operational costs. The adequacy and proper function of ventilation systems depend on design specifications that cannot be verified during a home inspection. Inspection procedures related to ventilation involve identifying defects present on systems and components located in the ventilated areas. Active defects such as winter attic condensation will not be visible during the summer inspection unless the condensation has stained or corroded adjacent materials. Therefore, the inspection of ventilated areas should be considered seasonally dependent, and the buyer should request a second inspection when the seasons change.

I1. Insulation & Ventilation: General

I1-1 Attic: All Accessible

IN DE

Insulation Type: Loose: Fiberglass

Ventilation Type: Gable Vent(s): Static Vents

(I1-1.1) Attic: All Accessible



A section of insulation in the attic/crawl space is missing. Improper insulation installation could result in condensation, over heating of the building components, and inadequate conditioning of the living areas. A licensed general contractor should be consulted for repair/replacement.

J. Appliances

The installed appliances were visually inspected and operated per the home inspectors standard of practice and or contract, unless otherwise noted as a limitation. Built in appliances are operated to determine if the units respond to and operate using normal operating controls. The determination of the effectiveness of the appliance settings or cycles, such as the cleaning ability of the dishwasher, the grinding efficiency of the disposal, or the calibration of the oven is beyond the scope of the home inspection. Refrigeration units, ice makers, wine coolers, countertop appliances, washing machines, and dryers are beyond the scope of the home inspection. All appliances listed as not operational, identified to be of concern are in need of a full evaluation and or repair by a certified appliance repair technician prior to purchase. If additional concerns are discovered during the process of evaluation and repair, a Licensed General Contractor should be consulted to contact a specialist in each trade as needed.

J1. Appliances: Appliances

J1-1.1 Dishwasher

IN

Location: Kitchen

Inspection Method: Dishwasher: Operated Normal Cycle